



# उत्तर प्रदेश मेट्रो रेल कॉर्पोरेशन लि०

## UTTAR PRADESH METRO RAIL CORPORATION LTD.

(Formerly Known as Lucknow Metro Rail Corporation Ltd.)  
 (भारत सरकार एवं उत्तर प्रदेश सरकार का एक संयुक्त उपक्रम)  
 (A JOINT VENTURE OF GOVT. OF INDIA & GOVT. OF U.P.)

No. UPMRC/CE-Contract/KNPPD-02/2022-23

Dated: 31.10.2022

### ADDENDUM-03

Name of work: KNPPD-02: RFP for developing, setting up, operating and maintaining commercial spaces through licensing at various metro stations of Priority Corridor of Uttar Pradesh Metro Rail Corporation at Kanpur.

Addendum-03 along with replies to pre-bid queries of above tender is being issued and uploaded on CPP Portal. Revised excel file of BOQ has also been uploaded on CPP Portal.

For any further modifications/changes (if any), bidders are advised to stay updated on e-tendering portal (<https://etenders.gov.in/eprocure/app>) for information please.

*Jenaa Pandey*  
 31/10/2022  
 JGM/Contract

**Tender KNPPD-02 : Reply to Pre-Bid Queries**

**Tender KNPPD-02: RFP for developing, setting up, operating and maintaining commercial spaces through licensing at various metro stations of Priority Corridor of Uttar Pradesh Metro Rail Corporation at Kanpur**

S. NO.	Clause No./ Volume/ Page No.	Existing Provision	Bidder's Query	UPMRC's Reply
1	Annexure 12(B) (Format of Application for Permanent Power Supply) Procedure(Point 1)  Clause 8.6 of Article 8, Page 155	After ensuring completion of all electrical works as per stipulations and completion of all safety requirements i.e. Fire safety, clearance by local fire service etc. License shall apply to concerned PD / PB department in above form.  The Concessionaire has also, prior to commencement of operations of the Licensed Outlets, obtained the relevant permissions, no objection certificate(s) (NoCs) and shall, if required, also satisfy such other conditions/clearances required for operating the Licensed Outlets and shall submit copies of the same to UPMRC.	As stated by the Fire & Safety Department there is no requirement to obtain a separate Fire NOC for a shop/ space/ sub-section of a building (In this case Metro Station) which has already been awarded with the Fire NOC due to this confusion we faced way to much difficulty to obtain the Fire NOC, In our last tender. Please align this whole process with Fire & Safety Department and make a easy/simple way out.	As per tender conditions.
2	Clause 7.7 (e) of ARTICLE-7, Page 152	Water & Drainage: The Water/ drainage for licensed space shall be provided depending upon technical feasibility and availability. UPMRC Water charges as on date, if provided, shall be charged Rs. 1,200/- per month for spaces of carpet area up to 100 sqm and Rs. 2,000/- per month for spaces having carpet area above 100 sqm along with GST (if applicable at any instance of time). Water charge is to be escalated at the rate of 15% after every 3 years on compounding basis.	Is there any charges related to water usage?	As per tender conditions. Please refer Annexure-F of Addendum-3
3	-	-	Can you allow the concourse shops to operate till 11 or 12pm in night after the metro closes at 10pm?	Station Entry/Exit are normally closed after the operation hours. Any space located outside Entry/Exit can be operated beyond metro operating hours. For spaces located in concourse, grant of permission may be considered on case to case basis.
4	Negative list of advertisement, Clause 6 of Annexure 9B, Page 97	Advertisement at any location and in any format except branding of their shops/ products in front of allotted space in limited manner as approved by UPMRC.	Is there any mandate to place some basic branding material like standees/board on the ground floor/ parking area for the Concourse shops, as they have low visibility compared to ground level shops	Location and size of branding as proposed by concessionaire may be considered by UPMRC on case to case basis.
5	Clause 7.10(a) of ARTICLE-7, Page-153	If any area in addition to the "space" being licensed is required for installing any equipment related to provision of utilities, such as stand by generators, air conditioning plants, water storage, Antenna etc and other related equipment, UPMRC may provide such space, subject to availability and technical feasibility. For additional space on the same level as the main licensed space, the rate shall be calculated on pro rata basis of accepted rates i.e. license fees accepted for the main licensed space. If the space is given on the terrace or basement then license fee of 50% of the main license fee shall be taken.	Kindly find below some queries for location (02-1K2-07) at IIT Kanpur:  Provisioning of RO water Plant at location (Suggestion by UPMRC for specified location is required) which shall be used by restaurant operations.	As per tender conditions. Approval of exact location of RO water plant shall be done by UPMRC after submission of detailed drawing by the concessionaire.

6	<p>Clause 38.3 of Chapter-V, Page 32</p> <p>Clause 7.10(a) of ARTICLE-7, Page-153</p>	<p>The provision of gas bank as per the nature and requirement of license may be considered by UPMRC subject to operational feasibility and availabilities of space and as defined by UPMRC for gas bank.</p> <p>If any area in addition to the “space” being licensed is required for installing any equipment related to provision of utilities, such as stand by generators, air conditioning plants, water storage, Antenna etc and other related equipment, UPMRC may provide such space, subject to availability and technical feasibility. For additional space on the same level as the main licensed space, the rate shall be calculated on pro rata basis of accepted rates i.e. license fees accepted for the main licensed space. If the space is given on the terrace or basement then license fee of 50% of the main license fee shall be taken.</p>	<p>Provisioning of Gas Bank for cooking purpose at location (Suggestion by UPMRC for specified location is required) which shall be used by restaurant operations.</p>	<p>As per tender conditions. Approval of exact location of Gas Bank shall be done by UPMRC after submission of detailed drawing by the concessionaire.</p>
7	<p>Annexure 12(B) (Format of Application for Permanent Power Supply) Procedure(Point 1)</p> <p>Clause 8.6 of Article 8, Page 155</p>	<p>After ensuring completion of all electrical works as per stipulations and completion of all safety requirements i.e. Fire safety, clearance by local fire service etc. Licensee shall apply to concerned PD / PB department in above form.</p> <p>The Concessionaire has also, prior to commencement of operations of the Licensed Outlets, obtained the relevant permissions, no objection certificate(s) (NoCs) and shall, if required, also satisfy such other conditions/clearances required for operating the Licensed Outlets and shall submit copies of the same to UPMRC.</p>	<p>FIRE NOC: Please reply on both options</p> <p>(Option A) As per existing clause in tender document, for applying electricity permanent connection, we need to produce Fire NOC from local fire department. Will you provide any supportive document pertaining to IIT Metro station's Fire NOC so that we can get Fire NOC from fire department for specified location.</p> <p>(Option B) It would be better if Fire NOC shall be provided by UPMRC as all stations are already have NOC from Fire Department.</p>	<p>As per tender conditions.</p> <p>Supportive document pertaining to concerned metro station's Fire NOC shall be provided to concessionaire for obtaining Fire NOC from local fire department for allotted space.</p> <p>Option(B) is not feasible.Kindly refer tender conditions.</p>
8	<p>Clause 7.7(d) of ARTICLE-7, Page 152</p> <p>Clause 7.7(e)of ARTICLE-7, Page 152 &amp; 153</p>	<p>Solid Waste: The Licensee shall have to make arrangements for disposal of solid waste, which shall be got removed from the premises on a daily basis to ensure perfect cleanliness. The Licensee shall have to make arrangements for the solid waste to be separated into glass, plastic and food waste and for the food waste to be treated in a shredder to be converted into a paste. The waste shall need to be expelled into a common dump or waste area provided/indicated by UPMRC. If solid waste is found disposed off on UPMRC land or premises a penalty/fine of Rs. 2,000/- shall be imposed by UPMRC for each occasion.</p> <p>Water &amp; Drainage: The Water/ drainage for licensed space shall be provided depending upon technical feasibility and availability. UPMRC Water charges as on date, if provided, shall be charged Rs. 1,200/- per month for spaces of carpet area up to 100 sqm and Rs. 2,000/- per month for spaces having carpet area above 100 sqm along with GST (if applicable at any instance of time). Water charge is to be escalated at the rate of 15% after every 3 years on compounding basis.</p>	<p>Provisioning of Waste point &amp; Drainage and garbage disposable area at location (Suggestion by UPMRC for specified location is required)which shall be used by restaurant operations.</p>	<p>As per tender conditions. Collection and Disposal of waste including cleanliness shall be the responsibility of the concessionaire.</p> <p>As per tender conditions. Please refer Annexure-F of Addendum-3</p>
9	<p>Clause no. 4 of Chapter VI, Page 33,</p> <p>Clause 7.7 (e) of ARTICLE-7,Page 152.</p>	<p>Fixed cost of Rs. 10,000/- (plus applicable GST, if any) (per location) shall be charged by UPMRC for providing electric power connection from source point. Party shall extend power supply from this point at their own cost.</p> <p>Water &amp; Drainage: The Water/ drainage for licensed space shall be provided depending upon technical feasibility and availability. UPMRC Water charges as on date, if provided, shall be charged Rs. 1,200/- per month for spaces of carpet area up to 100 sqm and Rs. 2,000/- per month for spaces having carpet area above 100 sqm along with GST (if applicable at any instance of time). Water charge is to be escalated at the rate of 15% after every 3 years on compounding basis.</p>	<p>Electricity and water connection point: Will UPMRC provide both the points at our store.</p>	<p>Electricity &amp; water connection shall be given by UPMRC at source point on chargeable basis as per tender conditions. The concessionaire has to extend supply from this point to their space at their own cost.</p> <p>Please refer Annexure-F of Addendum-3</p>

10	Clause 7.10(a) of ARTICLE-7, Page-153	If any area in addition to the "space" being licensed is required for installing any equipment related to provision of utilities, such as stand by generators, air conditioning plants, water storage, Antenna etc and other related equipment, UPMRC may provide such space, subject to availability and technical feasibility. For additional space on the same level as the main licensed space, the rate shall be calculated on pro rata basis of accepted rates i.e. license fees accepted for the main licensed space. If the space is given on the terrace or basement then license fee of 50% of the main license fee shall be taken.	Provisioning of Exhaust point at specified Location.	As per tender conditions. Approval of exact location of exhaust point shall be done by UPMRC after submission of detailed drawing by the concessionaire.
11	Clause 7.10(a) of ARTICLE-7, Page-153	If any area in addition to the "space" being licensed is required for installing any equipment related to provision of utilities, such as stand by generators, air conditioning plants, water storage, Antenna etc and other related equipment, UPMRC may provide such space, subject to availability and technical feasibility. For additional space on the same level as the main licensed space, the rate shall be calculated on pro rata basis of accepted rates i.e. license fees accepted for the main licensed space. If the space is given on the terrace or basement then license fee of 50% of the main license fee shall be taken.	Provisioning of AC Outdoor point at specified Location.	As per tender conditions. Approval of exact location of AC Outdoor point shall be done by UPMRC after submission of detailed drawing by the concessionaire.
12	Clause 7.7 (g) of ARTICLE-7, Page 153	Parking: The parking facilities provided as part of the station parking may be used and all charges, fees and rules shall apply as applicable to the general public and the commuters.	<b>(A) Parking:</b> Kindly let me know the Parking spaces available in the areas? We are required to have some dedicated spaces for parking?	As per tender conditions. Provision of dedicated space for parking may be considered, if feasible, on case to case basis.
13	Clause 7.10 (a) of ARTICLE-7, Page 154	If any area in addition to the "space" being licensed is required for installing any equipment related to provision of utilities, such as stand by generators, air conditioning plants, water storage, Antenna etc and other related equipment, UPMRC may provide such space, subject to availability and technical feasibility. For additional space on the same level as the main licensed space, the rate shall be calculated on pro rata basis of accepted rates i.e. license fees accepted for the main licensed space. If the space is given on the terrace or basement then license fee of 50% of the main license fee shall be taken.	<b>(B) The addl. Area for utility /equipment:</b> We required free of cost or at least 20% space for utility of the total PD area.	As per tender conditions. The charges for additional space shall be applicable as per Clause 7.10(a) of ARTICLE-7, Page-153.
14	Clause 33, Page 29	In case mezzanine floor is built by the licensee for ground floor space at metro stations, additional license fee @ 50% of the license fee of the space will be payable by licensee to the UPMRC. Interest Free Security Deposit (IFSD) shall have to deposited as per actual monthly license fee charged for the space within 15 days period from the date of start of Shop's operation, failing which it shall be treated as Licensee's Event of Default. Mezzanine Floor can only be constructed by the licensee only after approval of the UPMRC. For areas/ spaces with lower height, intermediate slabs may be permitted with approval of UPMRC for storage of utilities, shall not be charged. Mezzanine floor constructed exclusively for the purpose of storage shall also not be charged, however, the mezzanine used for any other purpose shall be charged at the above rate.	<b>(C) Mezzanine Floor:</b>  We request you to not be charged in the Lobby Area, Seating area, Common area on Mezzanine floor. It will also be treated the same as a storage area. OR If It is not then it should be nominal (40% of the license fee) and IFSD should not be charged on it.	As per tender conditions.
15	Clause 18, Page 34	Timeline for Key activities for all shops	<b>(d) Payment Terms: For Category A &amp; B:</b> (i) Request you to kindly Extended Payment of IFSD for 45-60 Days from 30 days. (ii) Request you to kindly Extended Commencement of license fee: increase from 90 to 120 days. (iii) Upon handing over the area to the lease then the Fit out period is to be started.	As per tender conditions.

16	Clause 3.11 of ARTICLE: 3, Page 135	Lock-in period shall be Eighteen (18) months from date of start of License Period.	<b>(e) Lock-in Period:</b> Request you to kindly reduce lock in Period from the 18 months to 12 Months.	As per tender conditions.
17	Clause 3.1 of ARTICLE: 3, Page 134	If there is any major variation in area (i.e. more than +/- 5%), the License Fees shall be charged on pro-rata/actual area basis. Interest free security deposit/ performance guarantee will not be readjusted if the variation in area handed over is up to (+/-) 5% else security deposit will be readjusted according to actual area of the shop	<b>(f) Area increase during the time of Handing Over of the spaces:</b> Request you any variation found in the actual area during the time of handing over of the space it should be increased from +/- 10 % from +/- 5%.	As per tender conditions.
18	Clause 14.2.2 of ARTICLE 14, Page 176	In case of Sole Arbitrator: Within 60 days from the day when a written and valid demand for arbitration is received by CE/Contract on behalf of MD/UPMRC, the UPMRC will forward a panel of 03 names to the licensee The licensee shall have to choose one Arbitrator from the panel of three, to be appointed as Sole Arbitrator within 30 days of dispatch of the request by the UPMRC. In case the licensee fails to choose one Arbitrator within 30 days of dispatch of the request of the UPMRC then MD/UPMRC shall appoint anyone as Arbitrator from the panel of 03 Arbitrator as sole Arbitrator.	<b>(g) Procedure for appointment of Arbitrators:</b> As per the 14.2.2 of the tender document "the UPMRC will forward a panel of 03 names to the licensee. The licensee shall have to choose one Arbitrator from the panel of three. We request that the licensee should have the right to choose his own arbitrator, not from the UPMRC's panel.	As per tender conditions.
19	-	-	<b>(h) Concourse Area:</b> Can UPMRC explore the possibility of connecting the concourse Shops area with the Ground Floor Shop area?	The proposal for connecting the concourse Shops area with the Ground Floor Shop area shall be considered on case to case basis subject to feasibility.
20	Clause no. 4 of Chapter VI, Page 33,  Clause 7.7 (e) of ARTICLE 7, Page 152.	Fixed cost of Rs. 10,000/- (plus applicable GST, if any) (per location) shall be charged by UPMRC for providing electric power connection from source point. Party shall extend power supply from this point at their own cost.  Water & Drainage: The Water/ drainage for licensed space shall be provided depending upon technical feasibility and availability. UPMRC Water charges as on date, if provided, shall be charged Rs. 1,200/- per month for spaces of carpet area up to 100 sqm and Rs. 2,000/- per month for spaces having carpet area above 100 sqm along with GST (if applicable at any instance of time). Water charge is to be escalated at the rate of 15% after every 3 years on compounding basis.	Is electricity and water point will be provided in shop location?	Electricity & water connection shall be given by UPMRC at source point on chargeable basis as per tender conditions. The concessionaire has to extend supply from this point to their space at their own cost.  Please refer Annexure-F of Addendum-3
21	Clause 3.8 of ARTICLE-3, Page 35,  Clause 1 of Annexure-12, Page 101.	Power supply connection released for space(s) shall be based upon the requirement of the license and on payment of the defined charges. However, if additional electrical load is required by the successful bidders, the same may be arranged by UPMRC, if feasible, at the cost of successful bidders. Electricity consumption by the Licensee shall be paid to UPMRC as per invoices raised for the same. UPMRC shall raise invoice for electric consumption on local DISCOM rates (what would have been paid to local DISCOM had they taken connection from them). Licensee may provide split ACs, if required, at his own cost, conforming to detailed specifications approved by UPMRC.  Electric power required for commercial activity within footprint of metro station is required to be sourced from existing available source of UPMRC at station; availing power supply from outside agencies in UPMRC is not permitted. The disbursement of power at different stations shall be dealt with individually under separate connections.	At which rates Electricity charges will be charged if provided by your facilities or could we take connection of electricity from local supplier of city electricity board (KESCO)?	As per tender conditions.

22	Annexure 12(B) (Format of Application for Permanent Power Supply) Procedure(Point 1)  Clause 8.6 of Article 8, Page 155	After ensuring completion of all electrical works as per stipulations and completion of all safety requirements i.e. Fire safety, clearance by local fire service etc. Licensee shall apply to concerned PD / PB department in above form.  The Concessionaire has also, prior to commencement of operations of the Licensed Outlets, obtained the relevant permissions, no objection certificate(s) (NoCs) and shall, if required, also satisfy such other conditions/clearances required for operating the Licensed Outlets and shall submit copies of the same to UPMRC.	Is fire NOC will be provided by internal dept. UPMRC or we have to take it from outside?	As per tender conditions.
23	-	-	Could we get advertisement support of our company in your metro train ?	Concessionaire can get advertisement support on chargeable basis from agency for advertisement in metro trains.
24	Clause 29.3 of Chapter V, Page 27	Along with License Fee, Licensee shall also pay other dues like Goods & Services Tax (GST), statutory dues/liabilities, electricity charges, damage/penal charges, pending arrears, etc. as applicable time to time.	Is this rental Included GST?	The bidders shall quote the minimum monthly License fee excluding GST.  Please refer clause 29 of Chapter V for further detail.

**Tender KNPPD-02 : Summary sheet for Addendum-3**

**Tender KNPPD-02: RFP for developing, setting up, operating and maintaining commercial spaces through licensing at various metro stations of Priority Corridor of Uttar Pradesh Metro Rail Corporation at Kanpur**

<b>S. NO.</b>	<b>Existing Clause / Pg. No.</b>	<b>Clause in Existing Tender Document</b>	<b>Revised Clause</b>	<b>Revised Clause placed as Annexure/ Pg. No.</b>
1	Clause no. 7, Details of spaces;	-	Please refer revised list of spaces (One space added in A2 category at Sl. No. 16)	<b>Please refer Annexure-A of Addendum-3 Page 6R</b>
2.	Chapter-1: Notice Inviting Tender Page no. 6	Please refer list of spaces (space no. 02-MT3-02 (concourse-paid) at sl. no. 1 in A3 category)	Please refer revised list of spaces (space no. 02-MT3-02 <b><u>(concourse-unpaid)</u></b> at sl. no. 1 in A3 category)	
3	Clause no. 8;	-	Please refer revised list of spaces (One space added in A2 category at Sl. No. 16)	<b>Please refer Annexure-B of Addendum-3 Page 22R</b>
4	Chapter-4: Introduction Page no. 22	Please refer list of spaces (space no. 02-MT3-02 (concourse-paid) at sl. no. 1 in A3 category)	Please refer revised list of spaces (space no. 02-MT3-02 <b><u>(concourse-unpaid)</u></b> at sl. no. 1 in A3 category)	
5	Annexure-1 : Drawing/Sketch (Attached)	-	Please refer revised list of spaces (One space added in A2 category at Sl. No. 16)	<b>Please refer Annexure-C of Addendum-3 Page 54R</b>
6	Page no. 54	Please refer list of spaces (space no. 02-MT3-02 (concourse-paid) at sl. no. 1 in A3 category)	Please refer revised list of spaces (space no. 02-MT3-02 <b><u>(concourse-unpaid)</u></b> at sl. no. 1 in A3 category)	
7	Drawing No-5: Page no. 65	Drawing no. 5	Please refer revised Drawing no. 5 , page no. 65 R (one space added in drawing as 02-GD2-05)	<b>Please refer Annexure-D of Addendum-3 Page 65R</b>

8	Annexure 7; Technical Bid Form Page no. 90	-	Please refer revised list of spaces (One space added in A2 category at Sl. No. 16)	Please refer Annexure-E of Addendum-3 Page 90R
9	Annexure 7; Technical Bid Form Page no. 90	Please refer list of spaces (space no. 02-MT3-02 (concourse-paid) at sl. no. 1 in A3 category)	Please refer revised list of spaces (space no. 02-MT3-02 ( <b>concourse-unpaid</b> ) at sl. no. 1 in A3 category)	
10	Clause 7.7 (e) of ARTICLE-7, Page 152 & 153	Water & Drainage: The Water/ drainage for licensed space shall provide depend upon technical feasibility and availability. UPMRC Water charges as on date, if provided, shall be charged Rs. 1,200/- per month for spaces of carpet area up to 100 sqm and Rs. 2,000/- per month for spaces having carpet area above 100 sqm along with Service tax (if applicable at any instance of time). Water charge is to be escalated at the rate of 5% after one year on compounding basis.	Water & Drainage: The Water/ drainage for licensed space <b>shall be provided depending</b> upon technical feasibility and availability. UPMRC Water charges as on date, if provided, shall be charged Rs. 1,200/- per month for spaces of carpet area up to 100 sqm and Rs. 2,000/- per month for spaces having carpet area above 100 sqm along with <del>Service tax</del> <b>GST</b> (if applicable at any instance of time). Water charge is to be escalated at the rate of <del>5% after one year</del> <b>15% after every 3 year</b> on compounding basis.	Please refer Annexure-F of Addendum-3 Page 152R & 153R
11	Draft License Agreement Annexure-1 :	-	Please refer revised list of spaces (One space added in A2 category at Sl. No. 16)	Please refer Annexure-G of Addendum-3 Page 193R
12	Drawing/Sketch (Attached) Page no. 193	Please refer list of spaces (space no. 02-MT3-02 (concourse-paid) at sl. no. 1 in A3 category)	Please refer revised list of spaces (space no. 02-MT3-02 ( <b>concourse-unpaid</b> ) at sl. no. 1 in A3 category)	
13	-	BOQ in excel format	<b><u>Revised excel file of BOQ uploaded in finance cover on CPP Portal</u></b>	-



3	02-KL2-04	Kalyanpur	Concourse-unpaid	721	67278
4	02-VW2-01	CSJM University	Concourse-unpaid	685	61255
5	02-VW2-02	CSJM University	Concourse-unpaid	582	52045
6	02-VW2-04	CSJM University	Concourse-unpaid	633	56605
7	02-GD2-02	GurudevChauraha	Concourse –unpaid	658	58841
8	02-GD2-03	GurudevChauraha	Concourse-unpaid	593	53028
9	02-GD2-04	GurudevChauraha	Concourse-unpaid	629	56248
10	02-GT2-02	Geeta Nagar	Concourse-unpaid	669	67628
11	02-GT2-03	Geeta Nagar	Concourse-unpaid	622	62877
12	02-RW2-01	Rawatpur	Concourse-unpaid	681	105909
13	02-RW2-02	Rawatpur	Concourse-unpaid	660	102643
14	02-LL2-06	LLR Hospital	Ground-unpaid	604	122040
15	02-LL2-03	LLR Hospital	Concourse-unpaid	592	74805
<b>16</b>	<b>02-GD2-05</b>	<b>Gurudev Chauraha</b>	<b>Ground-unpaid</b>	<b>936</b>	<b>359640</b>
<b>Category A3: Spaces of size greater than 100 Sqm/ 1076.39 sqft.</b>					
1	02-MT3-02	Motijheel	<b>Concourse-unpaid</b>	5384	607057
2	02-MT3-01	Motijheel	Platform level	5100	575035

- 8.** Locations of above commercial spaces offered on Metro Stations are shown in drawings attached under Annexure-1. Actual area (carpet area) shall be measured at the time of handing over of the space(s). If there is any major variation in area (i.e. more than +/- 5%), the License Fees shall be charged on pro-rata/ actual area

**KNPPD-02:** RFP for developing, setting up, operating and maintaining commercial spaces through licensing at various metro stations of Priority Corridor of Uttar Pradesh Metro Rail Corporation at Kanpur.

**Annexure-B**

<b>Category A2: Spaces of size 50 sqm to 100 Sqm/538.19 sqft to 1076.39 sqft</b>					
1	02-IK2-07	IIT Kanpur	Ground-unpaid	541	60000
2	02-IK2-02	IIT Kanpur	Concourse-unpaid	549	22729
3	02-KL2-04	Kalyanpur	Concourse-unpaid	721	31147
4	02-VW2-01	CSJM University	Concourse-unpaid	685	28359
5	02-VW2-02	CSJM University	Concourse-unpaid	582	24095
6	02-VW2-04	CSJM University	Concourse-unpaid	633	26206
7	02-GD2-02	GurudevChauraha	Concourse -unpaid	658	27241
8	02-GD2-03	GurudevChauraha	Concourse-unpaid	593	24550
9	02-GD2-04	GurudevChauraha	Concourse-unpaid	629	26041
10	02-GT2-02	Geeta Nagar	Concourse-unpaid	669	31309
11	02-GT2-03	Geeta Nagar	Concourse-unpaid	622	29110
12	02-RW2-01	Rawatpur	Concourse-unpaid	681	49032
13	02-RW2-02	Rawatpur	Concourse-unpaid	660	47520
14	02-LL2-06	LLR Hospital	Ground-unpaid	604	56500
15	02-LL2-03	LLR Hospital	Concourse-unpaid	592	34632
<b>16.</b>	<b>02-GD2-05</b>	<b>Gurudev Chauraha</b>	<b>Ground-unpaid</b>	<b>936</b>	<b>166500</b>

<b>Category A3: Spaces of size greater than 100 Sqm/1076.39 sqft</b>					
1	02-MT3-02	Motijheel	<b>Concourse-unpaid</b>	5384	281045
2	02-MT3-01	Motijheel	Platform level	5100	266220

10	02-GT2-02	Geeta Nagar	Concourse-unpaid	669	6 a
11	02-GT2-03	Geeta Nagar	Concourse-unpaid	622	6 a
12	02-RW2-01	Rawatpur	Concourse-unpaid	681	7 b
13	02-RW2-02	Rawatpur	Concourse-unpaid	660	7 b
14	02-LL2-06	LLR Hospital	Ground-unpaid	604	8
15	02-LL2-03	LLR Hospital	Concourse-unpaid	592	8 b
<b>16</b>	<b>02-GD2-05</b>	<b>Gurudev Chauraha</b>	<b>Ground-unpaid</b>	<b>936</b>	<b>5</b>

**Category A3: Spaces of size greater than 100 Sqm**

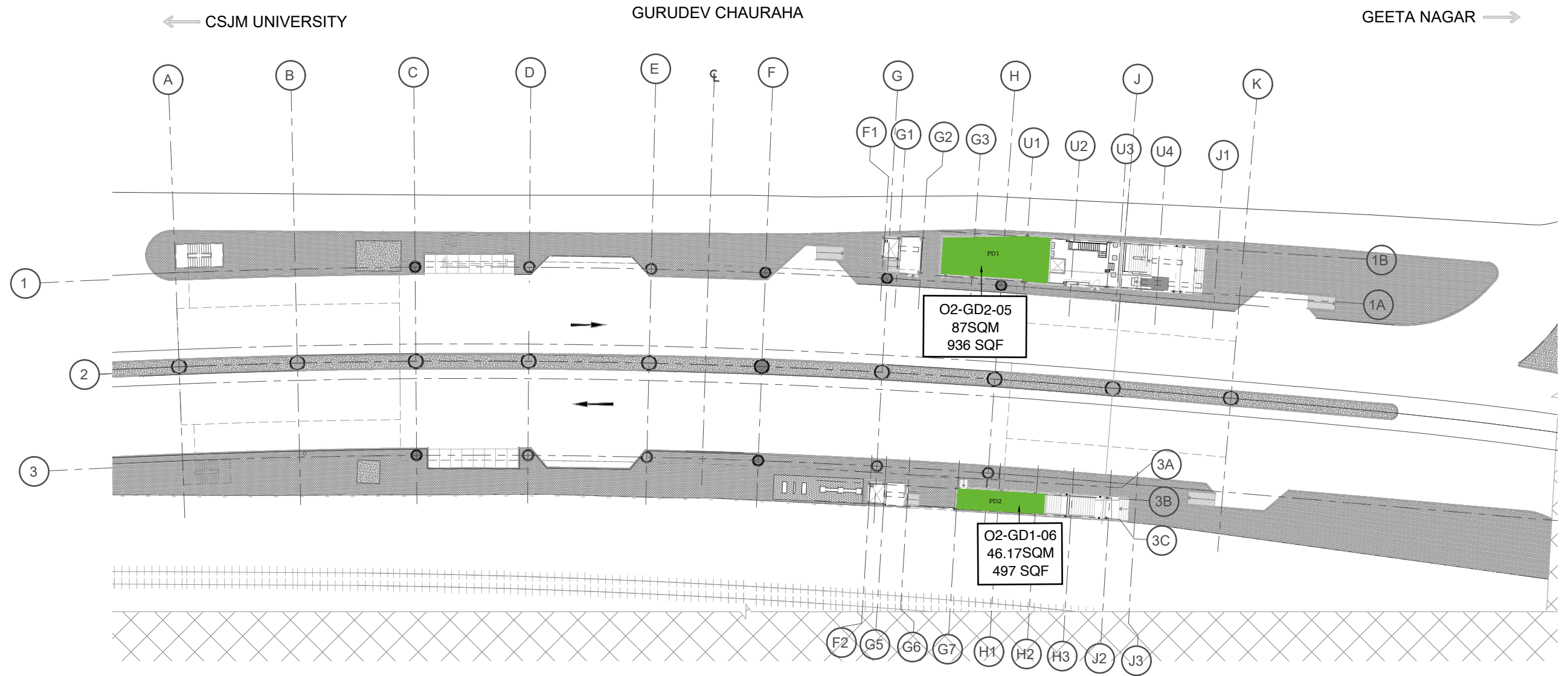
1	02-MT3-02	Motijheel	<b>Concourse-unpaid</b>	5384	9 a
2	02-MT3-01	Motijheel	Platform level	5100	9 c

**NOTE:** Walls of some spaces are non-structural and hence desired remodelling, if any, with changes in openings (Windows/Entrances) will be permissible without compromising the operational requirements, with due approval of UPMRC.


All commercial space(s) stated above are only tentative.

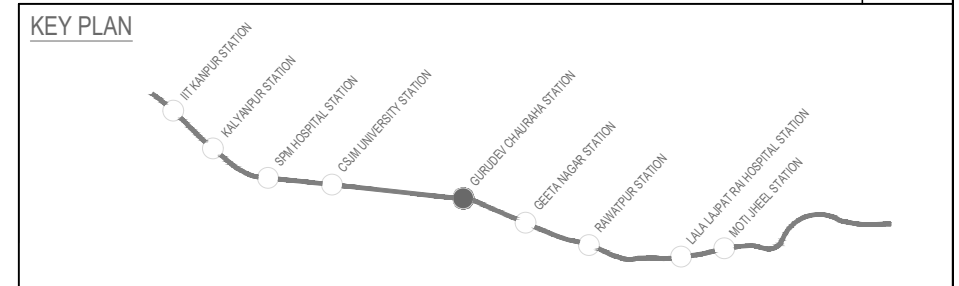
NOTE:

- Areas indicated above are approximate. Actual area (carpet area for bare commercial spaces & Super area for parking) shall be measured at the time of handing over of space(s). If there is any variation of more than +/- 5% in area, the License Fees shall be charged on pro- rata/ actual area basis. However, such variation in area at the time of handing over of space shall in no case effect the eligibility of the selected bidder for the licensed space under consideration.
- All space(s) offered on license basis are on “as is where is basis”. On this area the selected bidders is expected to carry out all works, as needed for commercial use.



**GROUND LEVEL PLAN**  
1 : 300

LEGEND	
	PD AREA



8	02-GD2-03	Gurudev Chauraha	Concourse-unpaid	593	53028		
9	02-GD2-04	Gurudev Chauraha	Concourse-unpaid	629	56248		
10	02-GT2-02	Geeta Nagar	Concourse-unpaid	669	67628		
11	02-GT2-03	Geeta Nagar	Concourse-unpaid	622	62877		
12	02-RW2-01	Rawatpur	Concourse-unpaid	681	105909		
13	02-RW2-02	Rawatpur	Concourse-unpaid	660	102643		
14	02-LL2-06	LLR Hospital	Ground-unpaid	604	122040		
15	02-LL2-03	LLR Hospital	Concourse-unpaid	592	74805		
<b>16</b>	<b>02-GD2-05</b>	<b>Gurudev Chauraha</b>	<b>Ground-unpaid</b>	<b>936</b>	<b>359640</b>		
<b>Category A3: Spaces of size greater than 100 Sqm/1076.39 sqft</b>							
1	02-MT3-02	Motijheel	<b>Concourse-unpaid</b>	5384	607057		
2	02-MT3-01	Motijheel	Platform level	5100	575035		

**Eligibility Profile:-** For Compliance to Minimum Eligibility Criteria (refer Clause 9 of NIT):-

**\*For bidders submitting their bid directly:-**

<b>(A) Technical Capacity</b>		
1.	Name of Bidder	
2.a)	Name of the Locations and full particulars of the company/brand Outlet of similar category [As per Clause 9 (a) of NIT]	Location and Address with details:- 1. 2. ....
2.b)	Entity/Model operating the Business (as mentioned in S. No. 2.a above )	1. 2. ....
2.c)	Date of start of Operations of company/ brand Outlet (as mentioned in S. No. 2.a above)	1. 2. ....

(b) The licensee shall obtain the prior approval of UPMRC for a format of standard sub- license agreement before its execution with any sub-licensee. In case, any deviation in this format of standard sub-license agreement is required, the Licensee shall again obtain prior approval of UPMRC before entering into an agreement with the sub-licensee. UPMRC reserves the sole right not to give consent/ approval to such a request and no compensation or claim on this account shall be entertained.

7.6 Except for the sub-licensing the use of licensed space, the licensee shall not assign any of its rights or interest in this Agreement in favour of any company/person(s) at any time and for any reasons whatsoever.

**7.7 UPMRC's Infrastructure Facilities:**

(a) Licensee shall apply electricity connection, Air-conditioning, Water & Drainage, other amenities/ proposals etc. individually for licensed space along with requisite documents.

(b) Electricity: The Electrical Load is available for licensed space. Electrical work, if required, shall be carried out in accordance with rules and guidelines for release of Electrical Power as per Annexure-IV. All costs associated with provision of electricity shall be borne solely by the licensee.

(c) Air-conditioning/ Refrigeration Load:

The Licensee shall indicate the estimated power/load requirement including air-conditioning/ refrigeration load along with the electricity load distribution plan as part of the preliminary plan submissions. Air- conditioning/refrigeration within the said premises shall be arranged as required by the Licensee at his own cost after obtaining all written approvals from the electrical department of the licensor/ authorized representative.

(d) Solid Waste: The Licensee shall have to make arrangements for disposal of solid waste, which shall be got removed from the premises on a daily basis to ensure perfect cleanliness. The Licensee shall have to make arrangements for the solid waste to be separated into glass, plastic and food waste and for the food waste to be treated in a shredder to be converted into a paste. The waste shall need to be expelled into a common dump or waste area provided/indicated by UPMRC. If solid waste is found disposed off on UPMRC land or premises a penalty/fine of Rs. 2,000/- shall be imposed by UPMRC for each occasion.

(e) Water & Drainage: The Water/ drainage for licensed space **shall be provided depending** upon technical feasibility and availability. UPMRC Water charges as ondate, if provided, shall be charged Rs. 1,200/- per month for spaces of carpet area up to 100 sqm and Rs. 2,000/- per month for spaces having carpet



**KNPPD-02:** RFP for developing, setting up, operating and maintaining commercial spaces through licensing at various metro stations of Priority Corridor of Uttar Pradesh Metro Rail Corporation at Kanpur.

area above 100 sqm along with ~~Service tax~~ **GST** (if applicable at any instance of time). Water charge is to be escalated at the rate of ~~5% after one year~~ **15% after every 3 year on compounding basis.**

(f) Telephone: UPMRC may give permission for installation of cables for telephone/ telecommunication equipment subject to technical feasibility. The instrument, cables and connection shall be obtained by the Licensee from the telephone company at his own cost. UPMRC reserves the right not to give such permission.

(g) Parking: The parking facilities provided as part of the station parking may be used and all charges, fees and rules shall apply as applicable to the general public and the commuters.

#### **7.8 Services to be Provided by UPMRC:**

Reasonable security services for the station building, cleaning, trash removal and washing of the station building premises, adequate lighting in the common areas and exterior lighting outside the station building. In the event that any one of the services provided for by UPMRC may be interrupted or suspended by reason of accident, repair, alterations, strikes, lockout, and except as hereinafter provided, UPMRC shall not be liable to the licensee therefore provided however that UPMRC shall use its best efforts to restore such services as soon as reasonably possible.

#### **7.9 CCTV surveillance inside space(s)**

As per the prevailed guidelines of Government/ UP Police, the licensee shall install Closed Circuit Tele Vision (CCTV) for coverage of entire areas inside the licensed premises. Special care shall be taken for the surveillance of the customers who access the licensed premises. Footage of at least last seven days shall be produced for security purposes and same shall be available if authorized officials of UPMRC/ UP Police inquire for it.

#### **7.10 Additional space for Antenna and Other Utility Equipment:**

(a) If any area in addition to the “space” being licensed is required for installing any equipment related to provision of utilities, such as stand by generators, air-conditioning plants, water storage, Antenna etc and other related equipment, UPMRC may provide such space, subject to availability and technical feasibility. For additional space on the same level as the main licensed space, the rate shall be calculated on pro rata basis of accepted rates i.e. license fees accepted for the main licensed space. If the space is given on the terrace or basement then license fee of 50% of the main license fee shall be taken.

**KNPPD-02:** RFP for developing, setting up, operating and maintaining commercial spaces through licensing at various metro stations of Priority Corridor of Uttar Pradesh Metro Rail Corporation at Kanpur.

**Annexure-G**

9	02-GD2-04	GurudevChauraha	Concourse-unpaid	629	5 b
10	02-GT2-02	Geeta Nagar	Concourse-unpaid	669	6 a
11	02-GT2-03	Geeta Nagar	Concourse-unpaid	622	6 a
12	02-RW2-01	Rawatpur	Concourse-unpaid	681	7 b
13	02-RW2-02	Rawatpur	Concourse-unpaid	660	7 b
14	02-LL2-06	LLR Hospital	Ground-unpaid	604	8
15	02-LL2-03	LLR Hospital	Concourse-unpaid	592	8 b
<b>16</b>	<b>02-GD2-05</b>	<b>Gurudev Chauraha</b>	<b>Ground-unpaid</b>	<b>936</b>	<b>5</b>
<b><u>Category A3: Spaces of size greater than 100 Sqm</u></b>					
1	02-MT3-02	<u>Motijheel</u>	<b><u>Concourse-unpaid</u></b>	5384	9 a
2	02-MT3-01	<u>Motijheel</u>	Platform level	5100	9 c

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- . All space(s) offered on license basis are on "as is where is basis". On this area the selected bidders is expected to carry out all works, as needed for commercial use.
- . The Bare Commercial Space(s) can be utilized for any activity except banned list of usages as given in Annexure-II of License agreement.